



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th Ave NE., P.O. BOX 90012
BELLEVUE, WA 98009-9012

OPTIONAL DETERMINATION OF NON-SIGNIFICANCE (DNS) NOTICE MATERIALS

The attached materials are being sent to you pursuant to the requirements for the Optional DNS Process (WAC 197-11-355). A DNS on the attached proposal is likely. This may be the only opportunity to comment on environmental impacts of the proposal. Mitigation measures from standard codes will apply. Project review may require mitigation regardless of whether an EIS is prepared. A copy of the subsequent threshold determination for this proposal may be obtained upon request.

File No. 15-104848-LB
Project Name/Address: Eastside Christian Community Church/3615 164th Place SE
Planner: Laurie Tyler
Phone Number: (425)-452-2728

Minimum Comment Period: April 16, 2015, 5PM

Materials included in this Notice:

- ☒ Blue Bulletin
- ☒ Checklist
- ☒ Vicinity Map
- ☒ Plans
- ☐ Other:

Jami Gyle

ENVIRONMENTAL CHECKLIST

10/9/2009

Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

INTRODUCTION

Purpose of the Checklist:

The State Environmental Policy Act (SEPA), Chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.

Instructions for Applicants:

This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can. You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer or if a question does not apply to your proposal, write "do not know" or "does not apply." Giving complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include reference to any reports on studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.

Use of a Checklist for Nonproject Proposals: *A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.*

For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.

For nonproject actions, the references in the checklist to the words *project*, *applicant*, and *property* or *site* should be read as *proposal*, *proposer*, and *affected geographic area*, respectively.

Attach an 8 ½" x 11 vicinity map which accurately locates the proposed site.

Received

FEB 19 2015

Permit Processing

BACKGROUND INFORMATION

Property Owner: Eastside Christian Community Church

Proponent: Eastside Christian Community Church

Contact Person: Sik P. Wong

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: Sik P. Wong
9109-226th Place NE, Redmond, WA 98053

Phone: (425) 898-7586

Proposal Title: Add a second floor to the existing church for additional 6 Sunday School classrooms

Proposal Location: 3615-164th Place SE, Bellevue, WA 98008

(Street address and nearest cross street or intersection) Provide a legal description if available.

See attached Sheet Site Plan A1.1

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: An existing church, fully landscaped with 61 parking stalls on the site which includes wetlands and stream. But all these sensitive areas will not be disturbed in this proposal.
2. Acreage of site: 2.4 acres
3. Number of dwelling units/buildings to be demolished: None
4. Number of dwelling units/buildings to be constructed: None
5. Square footage of buildings to be demolished: None
6. Square footage of buildings to be constructed: 5,167 sq. ft.
7. Quantity of earth movement (in cubic yards): 16 yards
8. Proposed land use: Add second floor on top of the existing building. It was original designed and approved for a two story building by King County. Owner wants to finish the second floor now.
9. Design features, including building height, number of stories and proposed exterior materials:
A wood frame building with exterior Fiber cement horizontal siding, two story and max. height 35 feet.
10. Other
None

Estimated date of completion of the proposal or timing of phasing:

After we get the Conditional Use Approval permit, we will proceed to the structural design phase. Afterward, we will apply for building permit, seek construction bids, set target to raise funds, sign contracts with contractors and start construction as soon as possible. We hope the construction will be finished by the end of 2018 or sooner.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

None

LT
4/2/15

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

No. There is no need to prepare for any environmental information related to this proposal. It is because we only add a second floor right on top of the existing building. All structural supports will line up with the existing bearing walls. The only excavation is due to adding a second interior stair and an elevator for the Barrier Free Code requirement.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

None

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

None

Building Permit

Please provide one or more of the following exhibits, if applicable to your proposal.
(Please check appropriate box(es) for exhibits submitted with your proposal):

☐ Land Use Reclassification (rezone) Map of existing and proposed zoning

☐ Preliminary Plat or Planned Unit Development
Preliminary plat map

☐ Clearing & Grading Permit
Plan of existing and proposed grading
Development plans

☐ Building Permit (or Design Review)
Site plan
Clearing & grading plan

☐ Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: ☐ Flat ☒ Rolling ☐ Hilly ☐ Steep slopes ☐ Mountains ☐ Other

b. What is the steepest slope on the site (approximate percent slope)? 2%

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

The test pits encountered predominantly silty, gravelly sands which were loose near the ground surface but became medium-dense with depth as specified by the Geotechnical Report by Geotech Consultants in August 23, 1990.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

None

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4/2/15

- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

Not applicable

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Not applicable

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

The new cover area of the interior stair is $18.67' \times 10' = 186.7$ sq. ft. In compare with 5,167 sq. ft. of the total new area, the percentage is 3.6 %.

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

No applicable

2. AIR

- a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

May be a small amount of wood dust during construction. After construction is complete, there will be no emissions to the air.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

None

- c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

None

3. WATER

- a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

There is the Vasa Creek on the west side of the property. Also a small wetland on the south side too. Our church also has over 32,000 sq. ft. of untouched natural land on the east side of our property

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

Yes. There is the added new interior stair ($18.67' \times 10' = 186.7$ sq. ft. new area) in the south side of the building. Please see the site plan A1.1 attached.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

No fill and dredge material that will be placed in or removed from surface of water or wetlands.

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

Not applicable

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

Not that I am aware of

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

None

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

No. All the roof drains are connected to the existing drain system.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

Not applicable

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

No. There is no change of the existing water runoff.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

No. There is no change of the existing system.

- d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:
Not applicable

4. Plants

- a. Check or circle types of vegetation found on the site:

- ☒ deciduous tree: alder, maple, aspen, other
- ☒ evergreen tree: fir, cedar, pine, other
- ☒ shrubs
- ☒ grass
- ☐ pasture
- ☐ crop or grain
- ☒ wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- ☐ water plants: water lily, eelgrass, milfoil, other
- ☐ other types of vegetation

- b. What kind and amount of vegetation will be removed or altered?

No. There will be no amount of vegetation to be removed for there is an exiting gravel path on the new interior stair area.

- c. List threatened or endangered species known to be on or near the site.

Not that I know of due to lack of observable activity other than those of ordinary garden variety bugs and worms.

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Not applicable as the proposed plan does not intend to disturb any existing native plant or vegetation on the site.

5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

- ☒ Birds: hawk, heron, eagle, songbirds, other:
- ☐ Mammals: deer, bear, elk, beaver, other:
- ☐ Fish: bass, salmon, trout, herring, shellfish, other:

b. List any threatened or endangered species known to be on or near the site.

Undetermined, due to lack of observable activity other than those of ordinary garden variety bugs and worms.

c. Is the site part of a migration route? If so, explain.

Not that I am aware of

d. Proposed measures to preserve or enhance wildlife, if any:

None, not applicable

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

Use electric for lighting and natural gas for heating

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

Not that I am aware of

c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

None

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

None

(1) Describe special emergency services that might be required.

None

(2) Proposed measures to reduce or control environmental health hazards, if any.

None

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4/2/15

b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

None

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

The regular construction hours from 7:00 am to 3:00 pm may have noise created in a short-term base.

- (3) Proposed measures to reduce or control noise impacts, if any:

None

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

Use for regular Christian faith activities on Sunday, and week days. Neighboring properties are single homes.

- b. Has the site been used for agriculture? If so, describe.

No

- c. Describe any structures on the site.

Only a single one story church building on the site

- d. Will any structures be demolished? If so, what?

No

- e. What is the current zoning classification of the site?

R-5

- f. What is the current comprehensive plan designation of the site?

~~Not that I am aware of~~

Single-Family-High (SF-H)

- g. If applicable, what is the current shoreline master program designation of the site?

Not that I am aware of

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

Not that I am aware of

- i. Approximately how many people would reside or work in the completed project?

A few construction workers will work on the project

- j. Approximately how many people would the completed project displace?

A few construction workers

d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

None

e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

None

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

No change as what it is in the current usage of traffic

g. Proposed measures to reduce or control transportation impacts, if any:

None

15. Public Services

a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

No change as the existing requirement is adequate to cover the need

b. Proposed measures to reduce or control direct impacts on public services, if any:

None

16. Utilities

a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

Electricity, natural gas, water, refuse service, telephone and sanitary sewer.

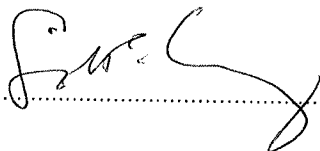
b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Electricity and water

Signature

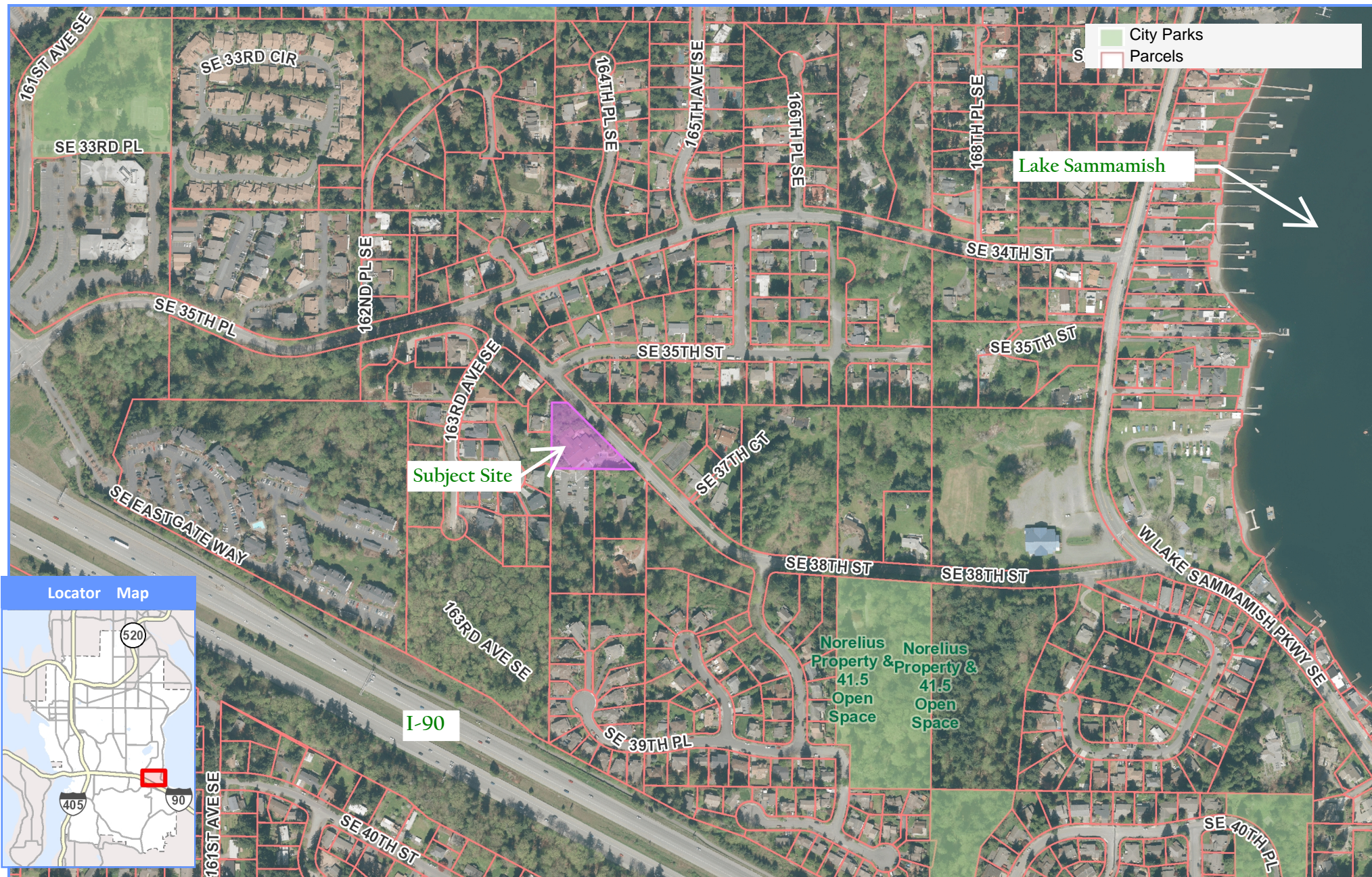
The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature.....

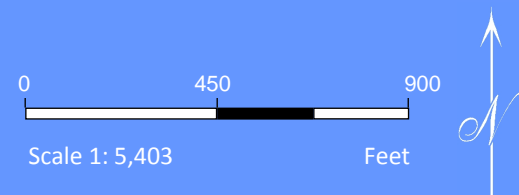


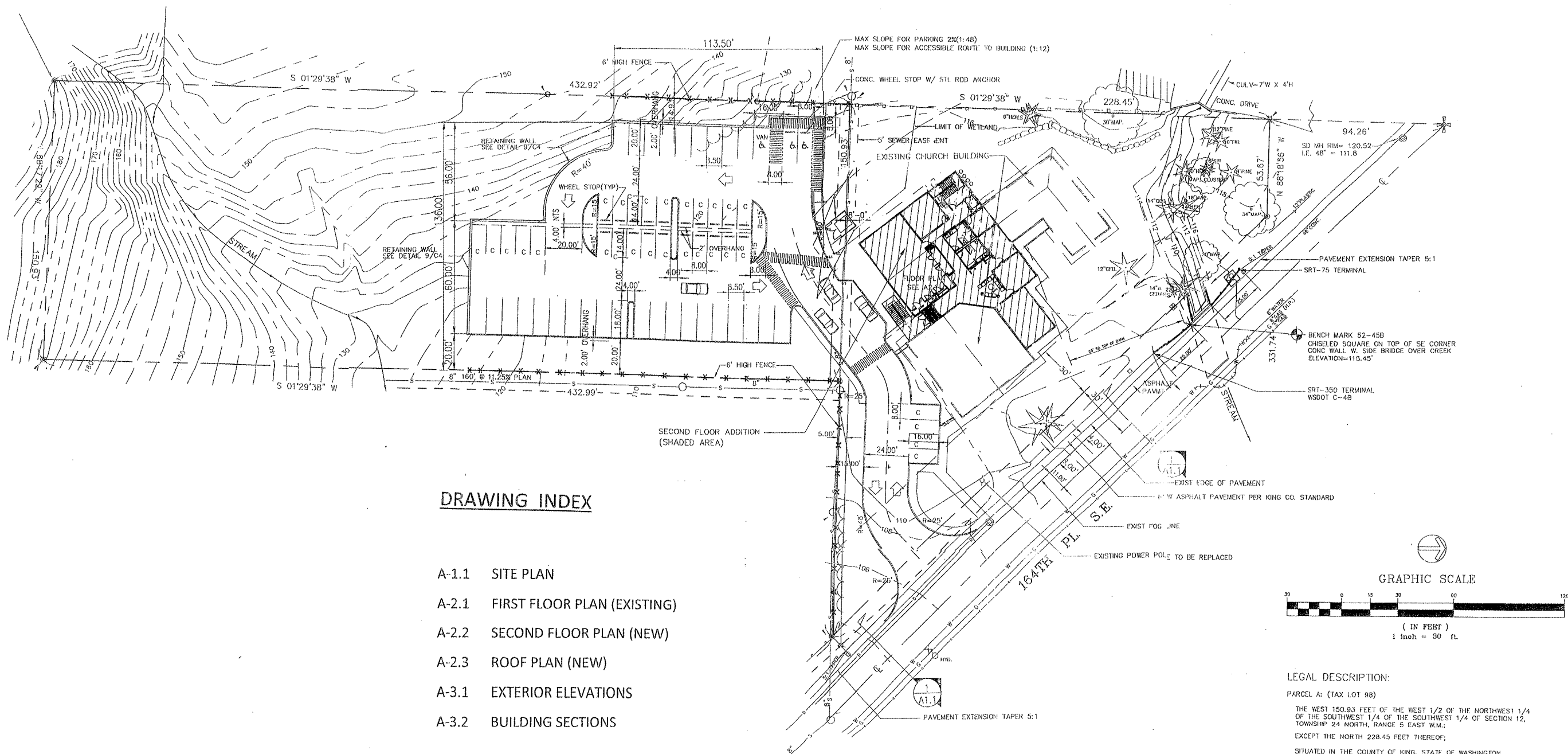
.....Date Submitted.....

2/19/2015



Eastside Christian Community Church





**EASTSIDE CHRISTIAN
 COMMUNITY CHURCH - PH-II
 3615-164TH PL. SE
 BELLEVUE, WASHINGTON**

SITE PLAN

JOB NO. 15-01

SHEET A-1.1

1 OF 6

Conditional Use Approvals Application #09-124776-DB

Eastside Christian Community Church (ECCC)

Description of Proposal & Design Intent

Our Problem

The exiting floor plan consists of:

- A parsonage residence with 3 bedrooms, a kitchen, a dining area, a living room, 1 full bath, 1 3/4 bath and 1 half bath.
- A sanctuary, 1 church office, 2 ministers' offices, a kitchen, a large nursery room with glass window facing the sanctuary, and a large fellowship hall.
- We are currently using all available "rooms" into which we have placed as many chairs as we can fit to accommodate various types of meetings.
- We can reasonably state that our existing floor plan has three (3) rooms for Sunday School classes and other meetings. These are the nursery room with glass window, the church office, and our fellowship hall.

Our Intent

- The proposed expansion would add six (6) rooms to address the over-crowding that constrains our various group meetings
- To reinstate the church's historical plan for the addition of a second floor to our existing structure, which had been previously approved by King County.
- The Eastside Christian Community Church (ECCC) did not rent its facilities to any private schools or daycare centers for non-church related use and it will continue to maintain our church policy in the years ahead.

Our Regular Activities

- **Sunday:** Worship services, Sunday School classes and activities, group and fellowship meetings.
- **Weekdays:** prayer meetings, small group meetings, choir practice, etc.
- **Friday evenings:** Concurrent adult and children group meetings. Bible study discussion groups, and youth activities.
- **Saturday:** Young adult meetings, choir practice, occasional adult meetings.

Potential Traffic Increase

- We do not expect increased vehicle traffic as our attendance remains consistent with minimal variation.

Our ECCC History

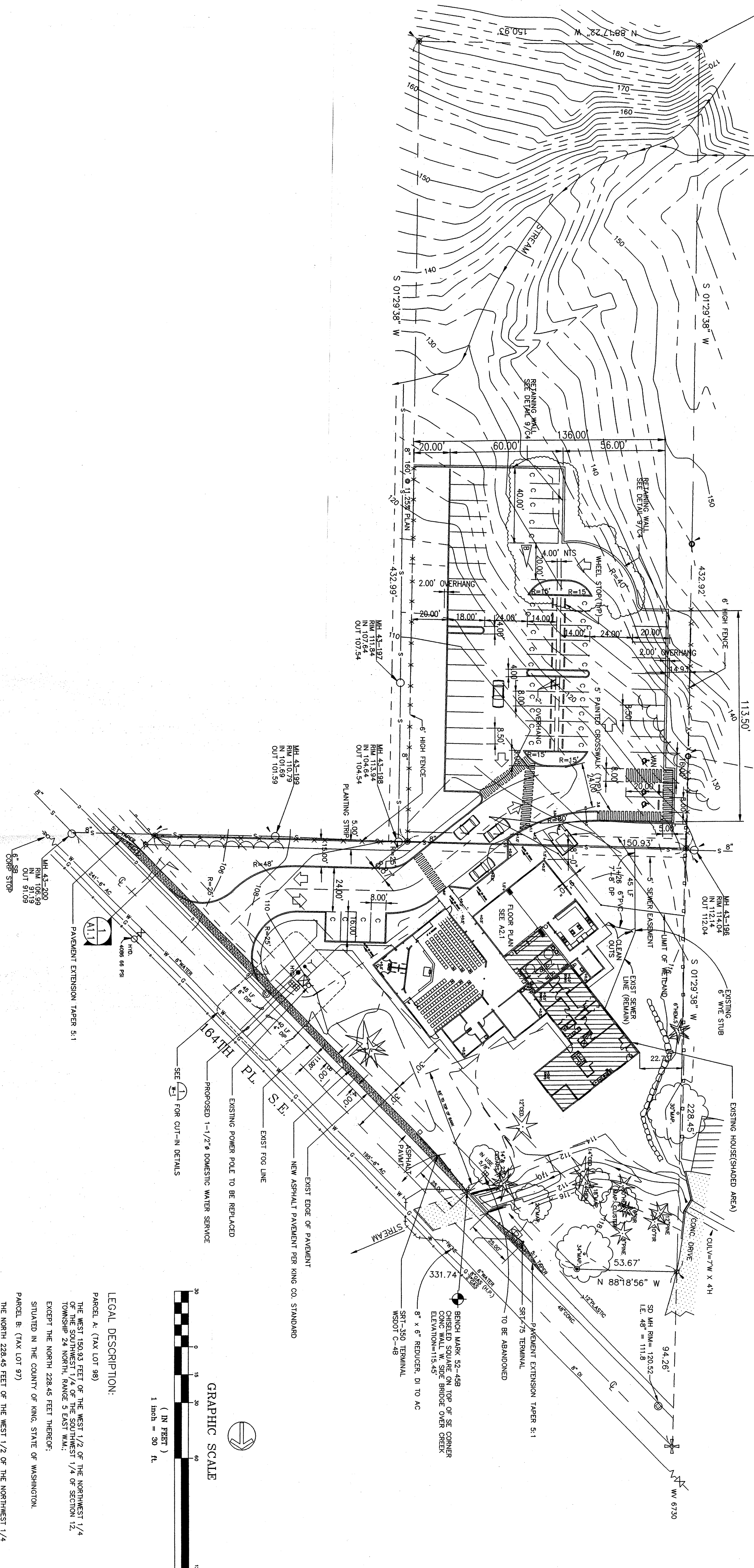
- ECCC obtained its Building Permit from King County in 2000.
- ECCC began clearing the existing site in the summer of 2000, followed by construction. We obtained the occupancy permit in November 2001 and moved in over Thanksgiving that year.
- Because ECCC decided not to apply for any mortgage loans on the property, we scaled back our construction plan and built a one-story facility, even though the original plan submitted to King County was for a two-story building for which we had received approval following the completion of Public Hearings.
- Ultimately, the church was built and completed in 2001 without incurring debts.

Received
FEB 19 2015

Permit Processing

WATER GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO CITY BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
2. ALL PIPES SHALL BE DUCTILE IRON CLASS 52 UNLESS OTHERWISE SHOWN.
3. ALL PIPES AND FITTINGS NOT TO BE DISCONNECTED IN PLACE SHALL BE SWABBED WITH 1% AVAILABLE CHLORINE SOLUTION PRIOR TO INSTALLATION.
4. THE NEW WATERMAIN SHALL BE CONNECTED TO THE EXISTING SYSTEM ONLY AFTER NEW MAIN IN PRESSURE, TESTED, FLUSHED, DISINFECTED AND SATISFACTORY BACTERIOLOGICAL SAMPLE RESULTS ARE OBTAINED. SEE STANDARD DETAIL W-8.
5. AFTER DISCONNECTING THE WATERMAIN, DISPOSE OF CHLORINATED WATER BY DISCHARGING TO THE NEAREST OPERATING SANITARY SEWER.
6. WATER MAIN SHUT-OFF SHALL BE COORDINATED WITH THE WATER REVENUE DIVISION FOR PREFERRED TURNING DURING FLOW CONTROL CONDITIONS. WATERMAIN SHUT-OFFS SHALL NOT BE SCHEDULED TO TAKE PLACE ON FRIDAYS, OR ON THE DAY BEFORE A CITY HOLIDAY, UNLESS OTHERWISE APPROVED BY THE UTILITY.
7. THE LOCATION OF ALL EXISTING UTILITIES SHOWN HEREIN ARE ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
8. DETECT THE WATERMAIN ABOVE OR BELOW EXISTING UTILITIES AS REQUIRED TO MAINTAIN 3 FT. MINIMUM COVER AND 12 INCHES MINIMUM VERTICAL CLEARANCE BETWEEN UTILITIES UNLESS OTHERWISE SPECIFIED.
9. WAPAC ALL DUCTILE IRON PIPE AND ADJACENT VALVES AND FITTINGS WITH 8-MIL. POLYETHYLENE CONFORMING TO AWWA C105.
10. THE WATERMAIN SHALL BE INSTALLED ONLY AFTER THE ROADWAY SUBGRADE IS BACKFILLED, GRADED AND COMPACTED IN CUT AND FILL AREAS.
11. TRENCH BACKFILL AND SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
12. ALL FITTINGS SHALL BE BLOCKED PER STANDARD DETAIL UNLESS OTHERWISE SPECIFIED.
13. ALL SERVICES SHALL BE 1" x 3/4" PER STANDARD DETAIL UNLESS OTHERWISE SPECIFIED.
14. PRESUBMITTED IN WAC 280-02-0700.
15. CALL 1-800-424-5555 48 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATIONS.
16. UNIFORM PLUMBING CODE REQUIRES THE INSTALLATION OF PRIVATELY OWNED AND OPERATED PRESSURE REDUCING VALVES WHERE THE OPERATING PRESSURE EXCEEDS 80 PSI.
17. THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
18. BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNHILL STORM DRAIN INLETS AND CATCH BASINS THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL FILTER FABRIC AND REPLACE AS NECESSARY. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNHILL BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASIN INSERTS. SIMPLE PLAINING FILTER FABRIC UNDER THE GRADE IS NOT ACCEPTABLE.
19. ABANDONMENT OF EXISTING WATER SERVICES SHALL BE ACCOMPLISHED AS FOLLOWS:
 - A. REMOVE EXISTING SERVICE SADDLE FROM WATERMAIN AND REPLACE WITH NEW STAINLESS STEEL REPAIR BAND, ROMAC SS2, ROMAC SERVICE SADDLE 1015, OR EQUIVALENT EJOUL (NUL) NOT BE REQUIRED WHEN WATERMAIN IS TO BE ABANDONED PRIOR TO SERVICE DEMOLITION).
 - B. REMOVE AND DISPOSE OF EXISTING SETTER AND WATER BOX.
 - C. CAP OR GRAP (IF COPPED) EXISTING SERVICE LINE TO BE ABANDONED.
 - D. RETURN EXISTING WATER TO CITY OF BELLEVUE UTILITIES INSPECTOR.
20. WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-7. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH SHALL BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO SPRING LINE OF THE AC MAIN.
21. AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.
22. WHERE WATERMAIN CROSSES ABOVE OR BELOW SANITARY SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED FOR MAXIMUM JOINT SEPARATION.
23. AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.



LEGAL DESCRIPTION:

PARCEL A: (TAX LOT 98

PARCEL A: (TAX LOT 98)

THE WEST 150.93 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 24 NORTH, RANGE 6 EAST, WM.

THE WEST 150.93 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 24 NORTH, RANGE 6 EAST, WY.

EXCEPT THE NORTH 228.45 FEET THEREOF

PARCEL B: (TAX LOT 97)

THE NORTH 228.45 FEET OF THE WEST $1/2$ OF THE NORTHWEST $1/4$ OF THE SOUTHWEST $1/4$ OF THE SOUTHWEST $1/4$ OF SECTION 12,

TOWNSHIP 24 NORTH, RANGE 3 EAST W.M., LING SOUTHERLY OF
164TH PLACE SE.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

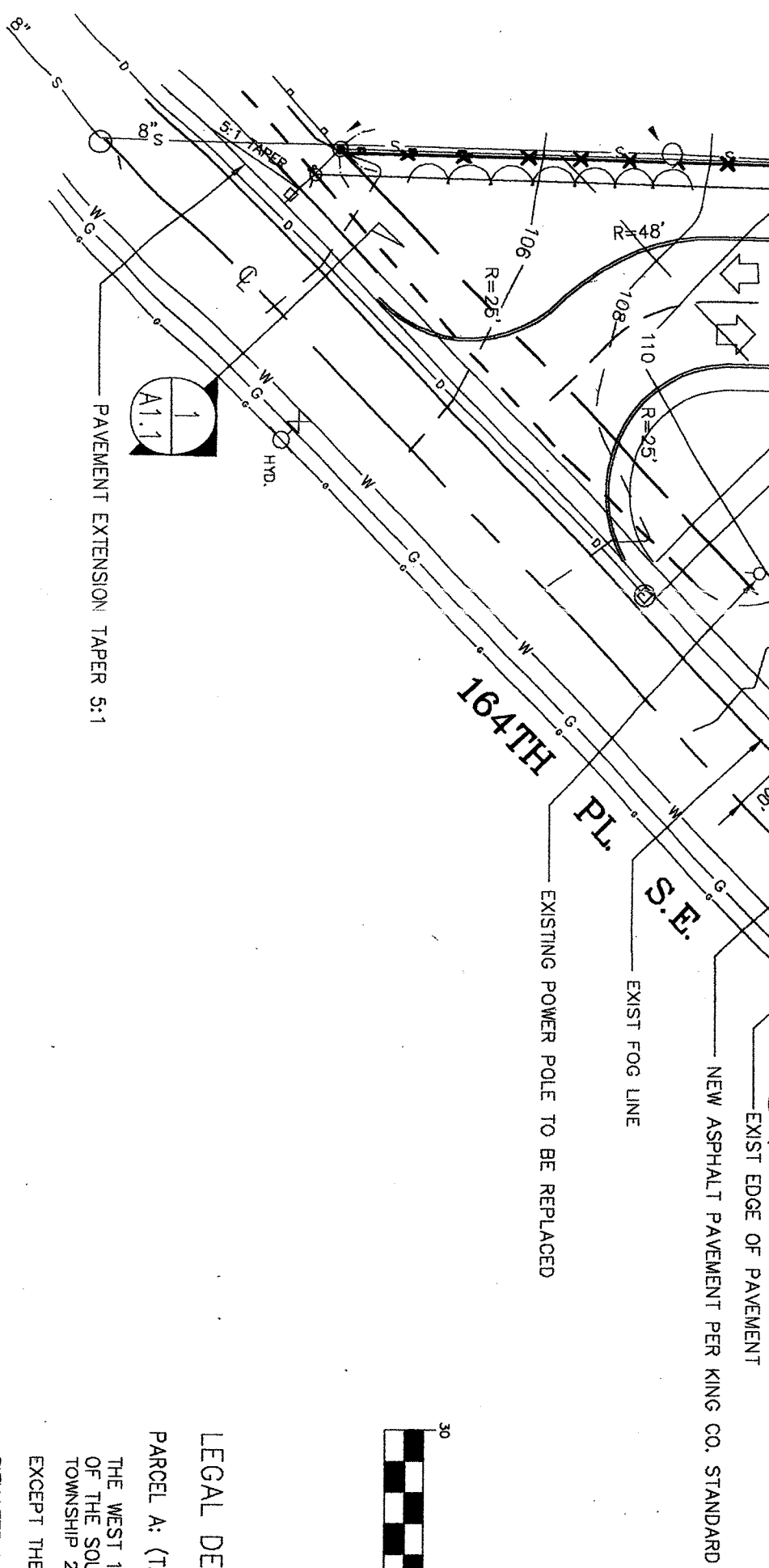
MERIDIAN: K.C.A.S. AS ESTABLISHED BY PLATS - HEATHFIELD COUNTY
 ESTATES, HORIZON EAST AND HEATHFIELD COUNTRY ESTATES NO.3
 ON WEST LINE OF SW 1/4 SECTION 12

ON WEST LINE OF SW 1/4 SECTION 12

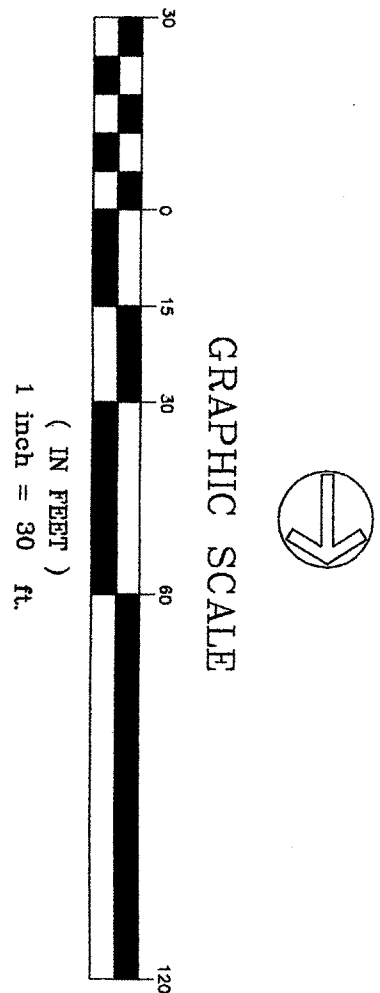
DATUM: N.G.V.D. 1929 AS ESTABLISHED BY K.C.A.S. - EASTSIDE SEWER DIST

SITE AREA: 104,386 SQ. FT. OR 2.3964 ACRES

Received

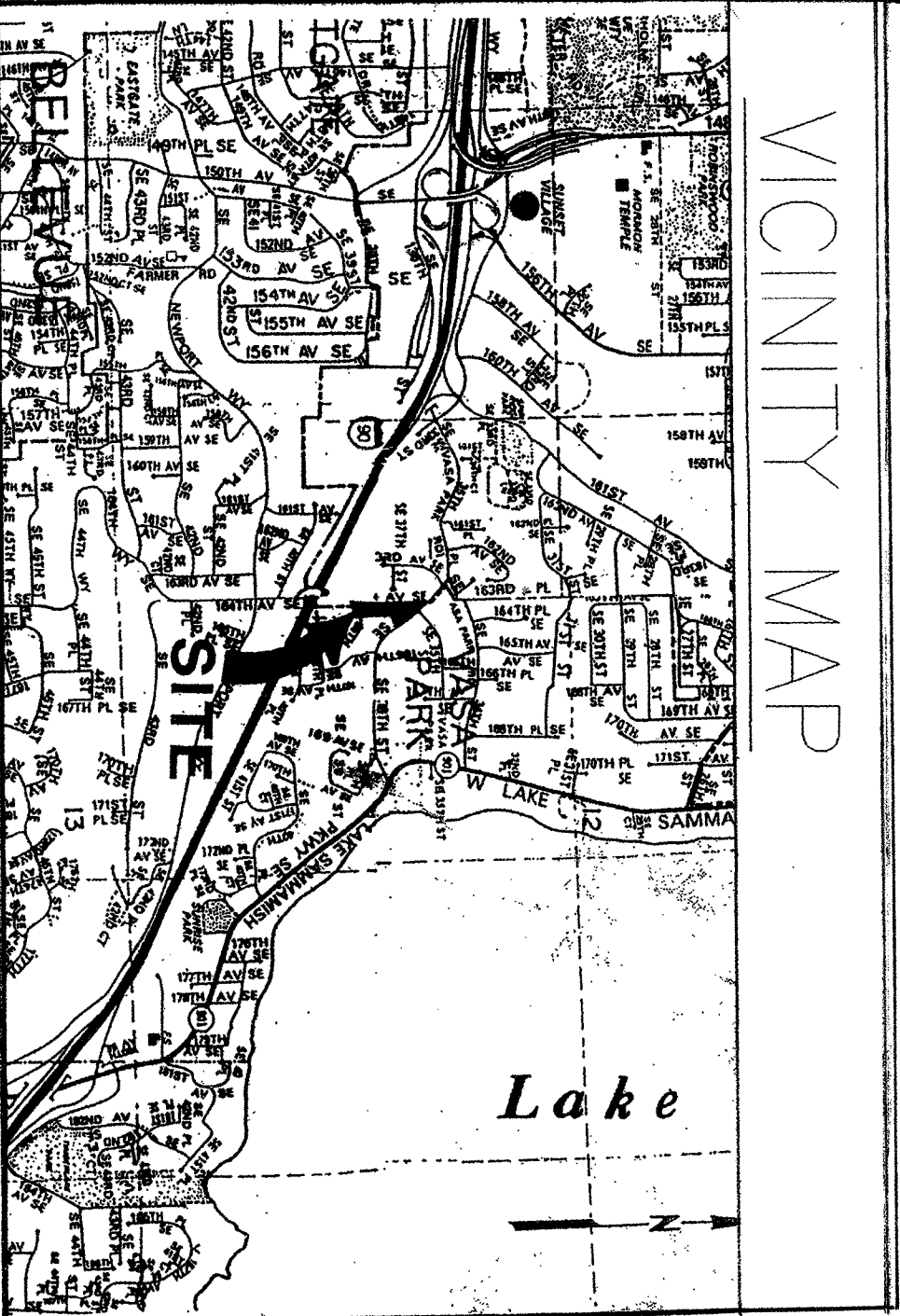


A-1.1	SITE PLAN
A-2.1	FIRST FLOOR PLAN (EXISTING)
A-2.2	SECOND FLOOR PLAN (NEW)
A-2.3	ROOF PLAN (NEW)
A-3.1	EXTERIOR ELEVATIONS
A-3.2	BUILDING SECTIONS



PARCEL A: (TAX LOT 98)
THE WEST 150.93 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 24 NORTH, RANGE 5 EAST W.M.;
EXCEPT THE NORTH 228.45 FEET THEREOF;
SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON.
PARCEL B: (TAX LOT 97)

MERIDIAN: K.C.A.S. AS ESTABLISHED BY PLATS - HEATHFIELD COUNTRY ESTATES, HORIZON EAST AND HEATHFIELD COUNTRY ESTATES NO.3 ON WEST LINE OF SW 1/4 SECTION 12.
 DATUM: N.G.V.D. 1929 AS ESTABLISHED BY K.C.A.S. - EASTSIDE SEWER DIST.
 SITE AREA: 104.386 SQ. FT. OR 2.396+ ACRES



DESIGNED	
DATE	9/1/09
DRAWN	
DATE	2009
CHECKED	SPW
DATE	2015
	BY

[illegible]

**EASTSIDE CHRISTIAN
COMMUNITY CHURCH - PH-II
3615-164TH PL. SE
BELLEVUE, WASHINGTON**

SITE PLAN

SITE PLAN

JOB NO.
15 - 01

SHEET
A-1.1

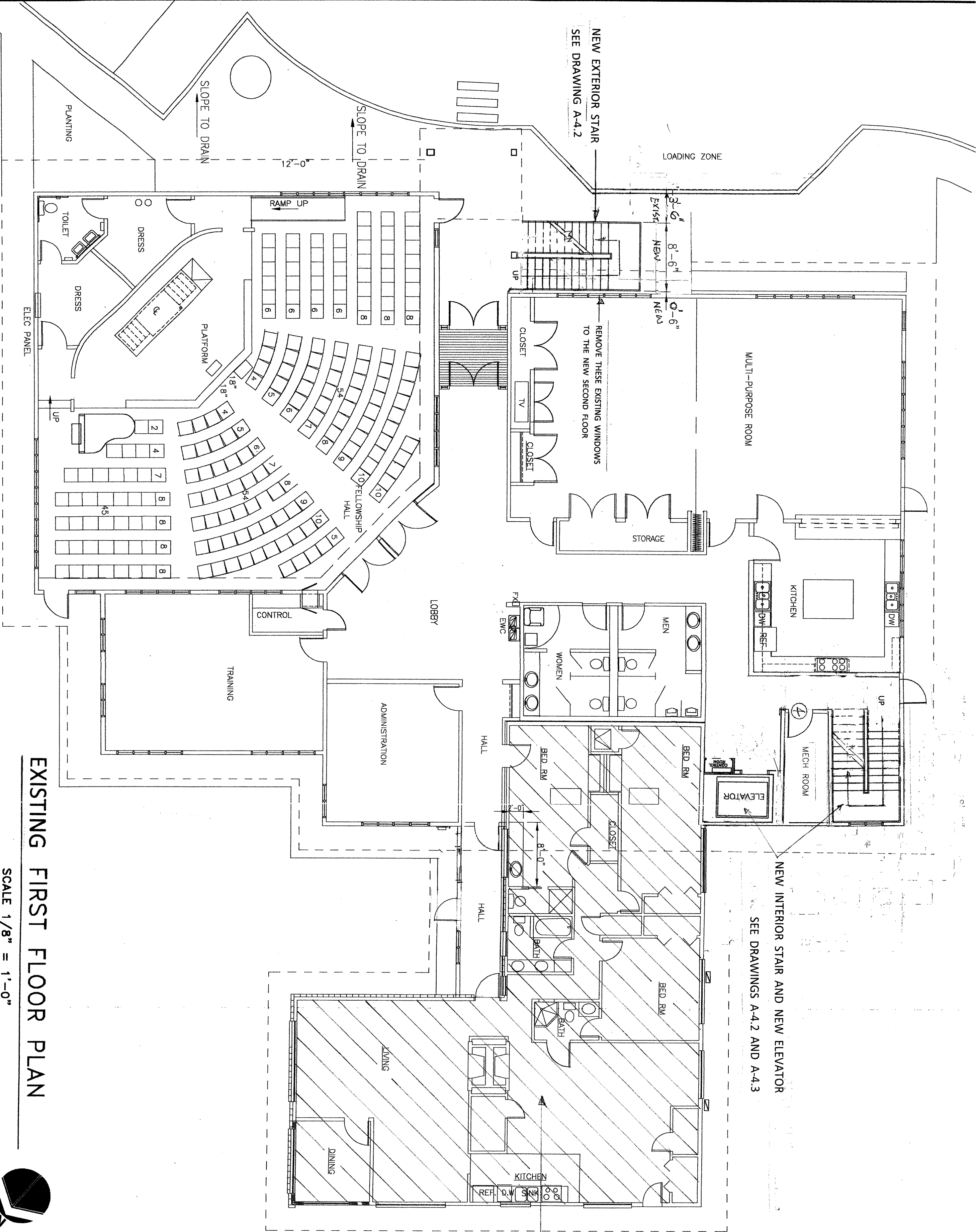
Received
1 OF 6

FEB 19 2015

GENERAL NOTES

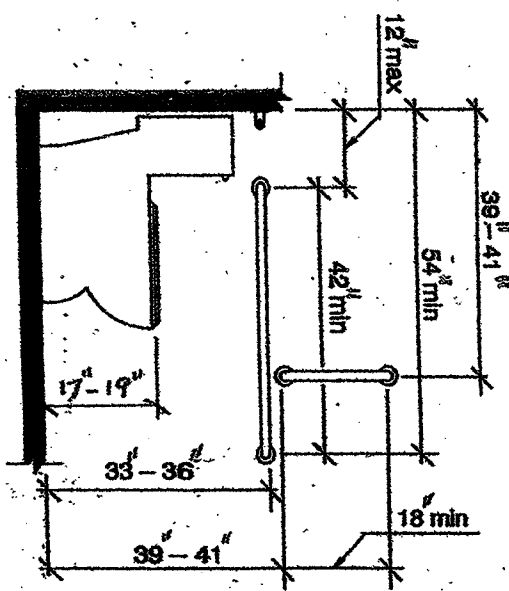
- SHOWN ARE THE EXISTING CHURCH LAYOUT, EXCEPT:
1. ADD A NEW EXTERIOR STAIR NEAR THE FRONT ENTRANCE TO EXIT FROM THE NEW SECOND FLOOR ADDITION SEE DRAWING A-4.2.
 2. INSIDE THE NORTHWEST CORNER OF THE EXISTING CHURCH, DEMOLISH A CLASSROOM AND BUILD A NEW INTERIOR STAIR, HALF OF THIS INTERIOR STAIR OVERHUNG FROM THE EXISTING EXTERIOR WALL SEE DRAWING A-4.3.
 3. ALSO NEXT TO THE STAIR, ADD A NEW ELEVATOR TO COMPLY WITH THE ACCESSIBILITY REQUIREMENTS.

THE EXISTING RESIDENCE WAS APPROVED AS PARSONAGE BY THE KING COUNTY IN 2000

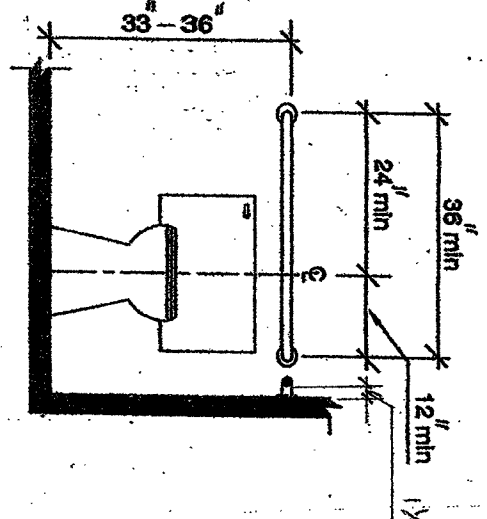


EXISTING FIRST FLOOR PLAN

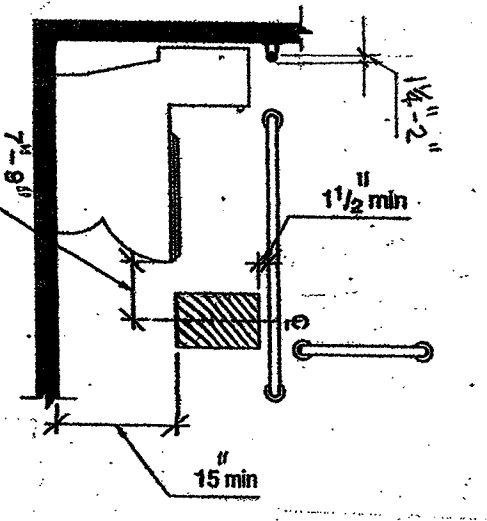
SCALE 1/8" = 1'-0"



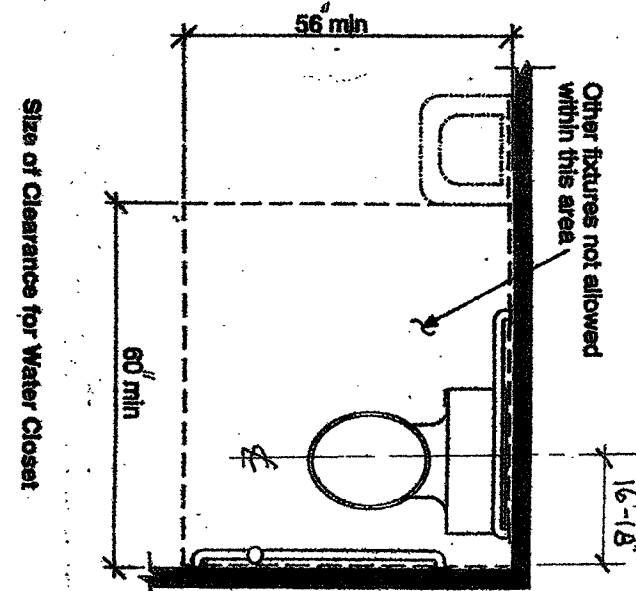
Side Wall Grab Bar for Water Closet



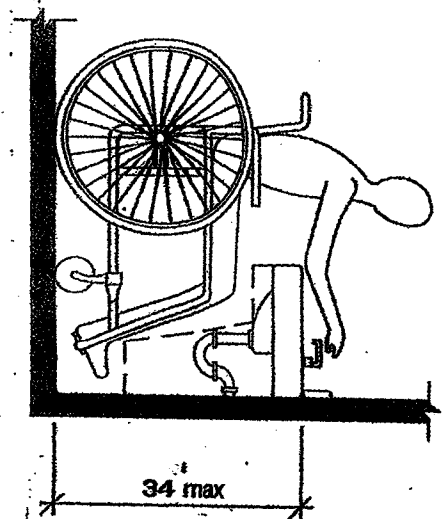
Rear Wall Grab Bar for Water Closet



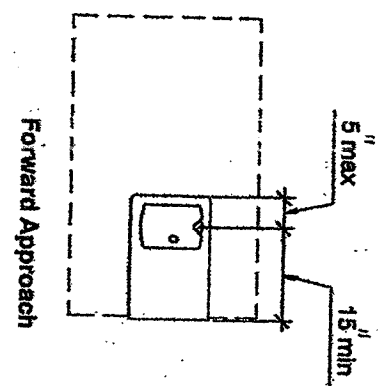
Dispenser Location Below Grab Bar



Standard Clearance for Water Closet



Height of Lavatories and Sinks



Drinking Fountain Spout Location

ACCESSIBILITY REQUIREMENTS FOR WATER CLOSET, SINK AND DRINKING FOUNTAIN FOR THE NEW SECOND FLOOR ADDITION

NO SCALE

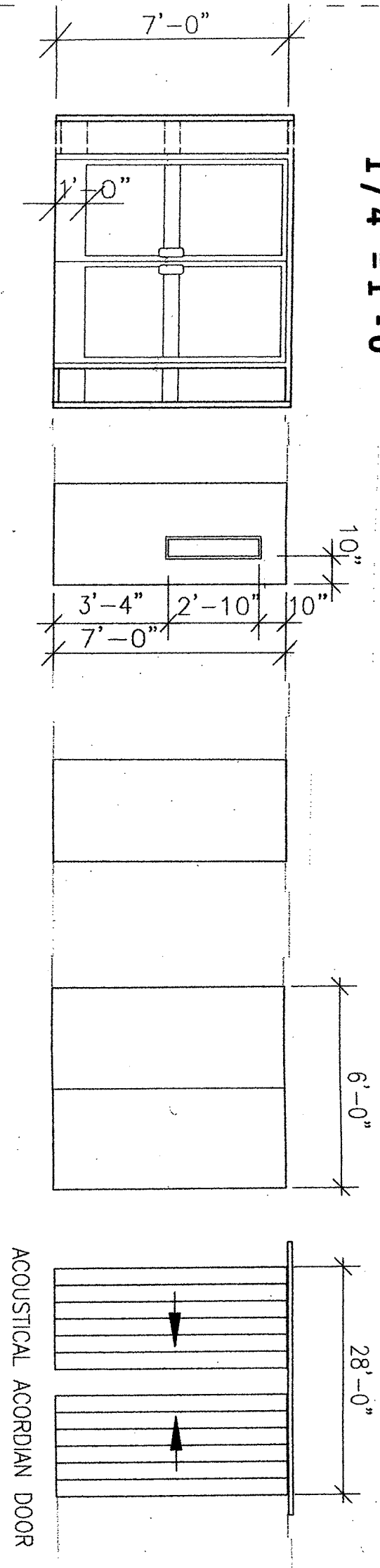
DESIGNED	DATE	9/26/02
DRAWN	DATE	9/26/02
CHECKED	DATE	SPW 2015
BY	DATE	

DATE	BY	SYM	REVISIONS

NO.	DOOR TYPES	HARDWARE GROUP	MATERIAL	GLAZING	AMOUNT	REMARKS
1	A	1	ALUMINUM	SAFETY	1	ALUM STOREFRONT ENTRANCE
2	A	2	ALUMINUM	SAFETY	1	ALUM STOREFRONT ENTRANCE
3	B	3	WOOD	WIRE	6	SOLID CORE
4	C	4	WOOD	NO	1	SOLID CORE
5	C	3	WOOD	NO	2	SOLID CORE
6	D	5	WOOD	NO	4	SOLID CORE
7	D SIMILAR	5 SIMILAR	WOOD	NO	1	SOLID CORE
8	E	6	WOOD	NO	1	ACOUSTICAL ACORDIAN DOOR

DOOR TYPES

1/4" = 1'-0"



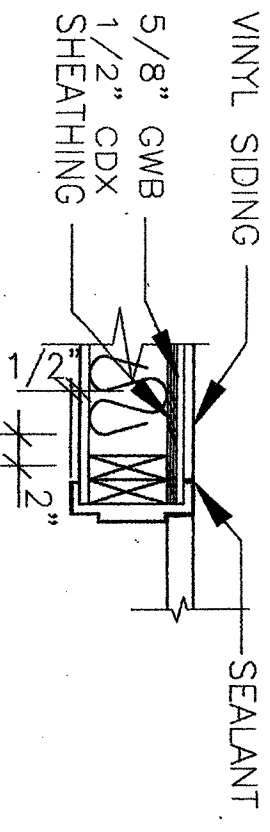
HARDWARE GROUP

(ALL HARDWARE SHALL BE ADA COMPLIANT)

GROUP 1 (HARDWARE BY MFG.)	GROUP 2 (HARDWARE BY MFG.)	GROUP 3
3 PAIR HINGES	3 PAIR HINGES	1-1/2 PAIR HINGES
2 EXIT DEVICE	2 EXIT DEVICE	1 LATCH SET
W/O LOCK CYLINDER	W/O LOCK CYLINDER	1 DOOR STOP
2 DOOR CLOSER W/HOLDER	2 DOOR CLOSER W/HOLDER	
2 DOOR STOP	& DOOR STOP	
1 THRESHOLD	1 WEATHERSTRIPPING	
1 WEATHERSTRIPPING		
GROUP 4 (20-MIN)	GROUP 5 (CLOSET DOOR)	GROUP 6 (ACORDIAN DOOR)
1-1/2 PAIR HINGES	3 PAIR HINGES	HARDWARE BY MFG.
1 LATCH SET	2 LATCHSETS	
1 DOOR CLOSER	4 FLUSH BOLTS	
1 SMOKE SEAL		
1 DOOR STOP		

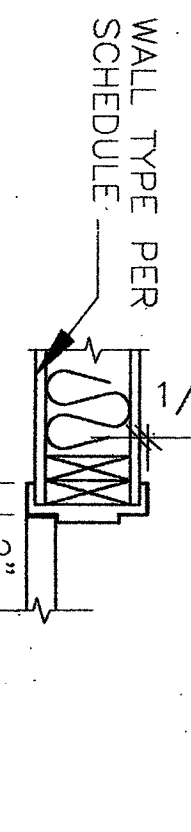
INTERIOR JAMB DETAIL

1" = 1'-0"



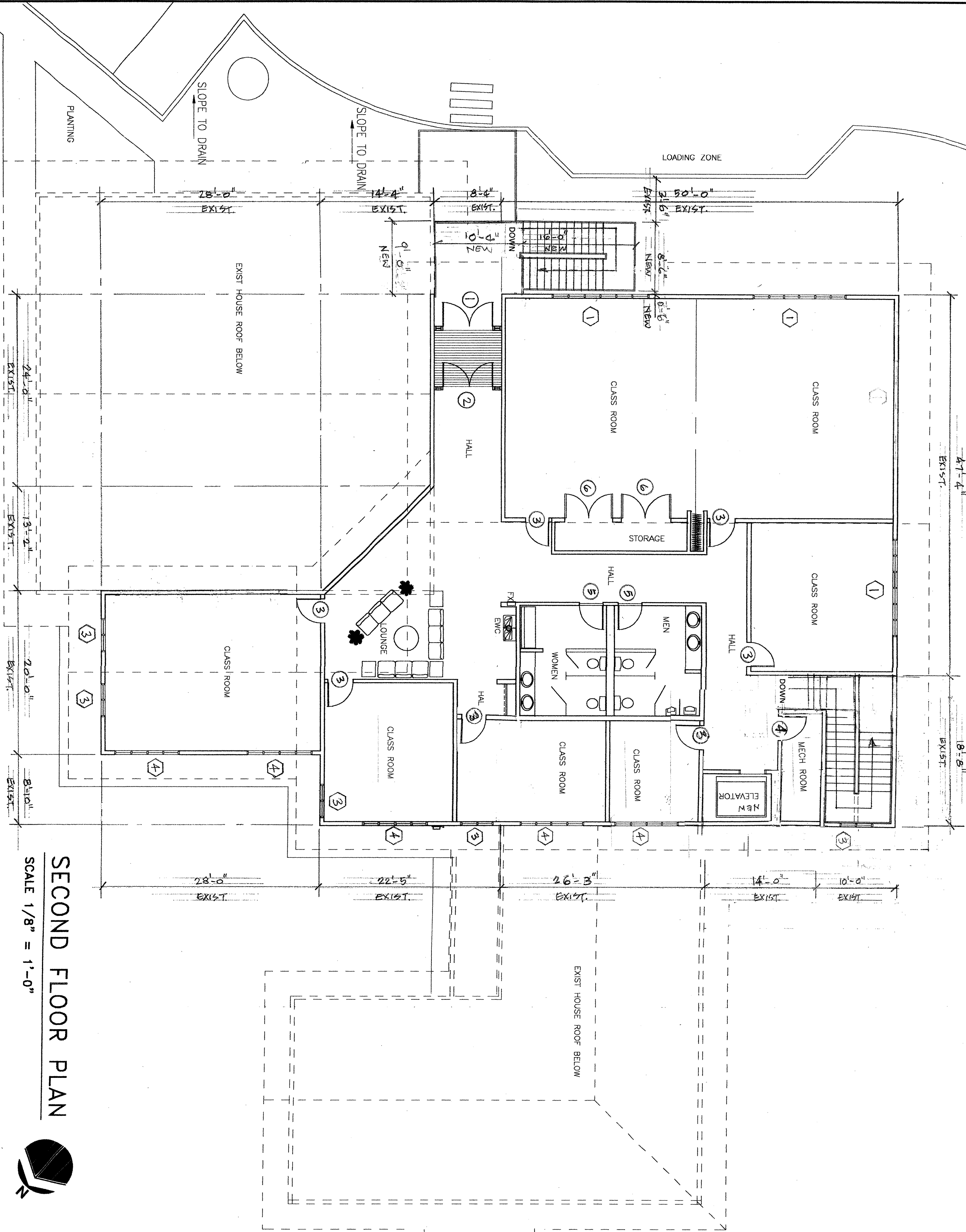
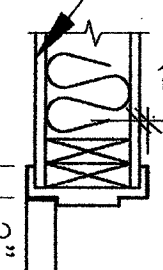
EXTERIOR JAMB DETAIL

1" = 1'-0"



METAL JAMB DETAIL

1" = 1'-0"



SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"

EASTSIDE CHRISTIAN
COMMUNITY CHURCH - PH II
BELLEVUE, WASHINGTON
SECOND FLOOR PLAN

DESIGNED	DATE	9/26/02
DRAWN	DATE	9/26/02
CHECKED	DATE	SPW 2015
BY	DATE	

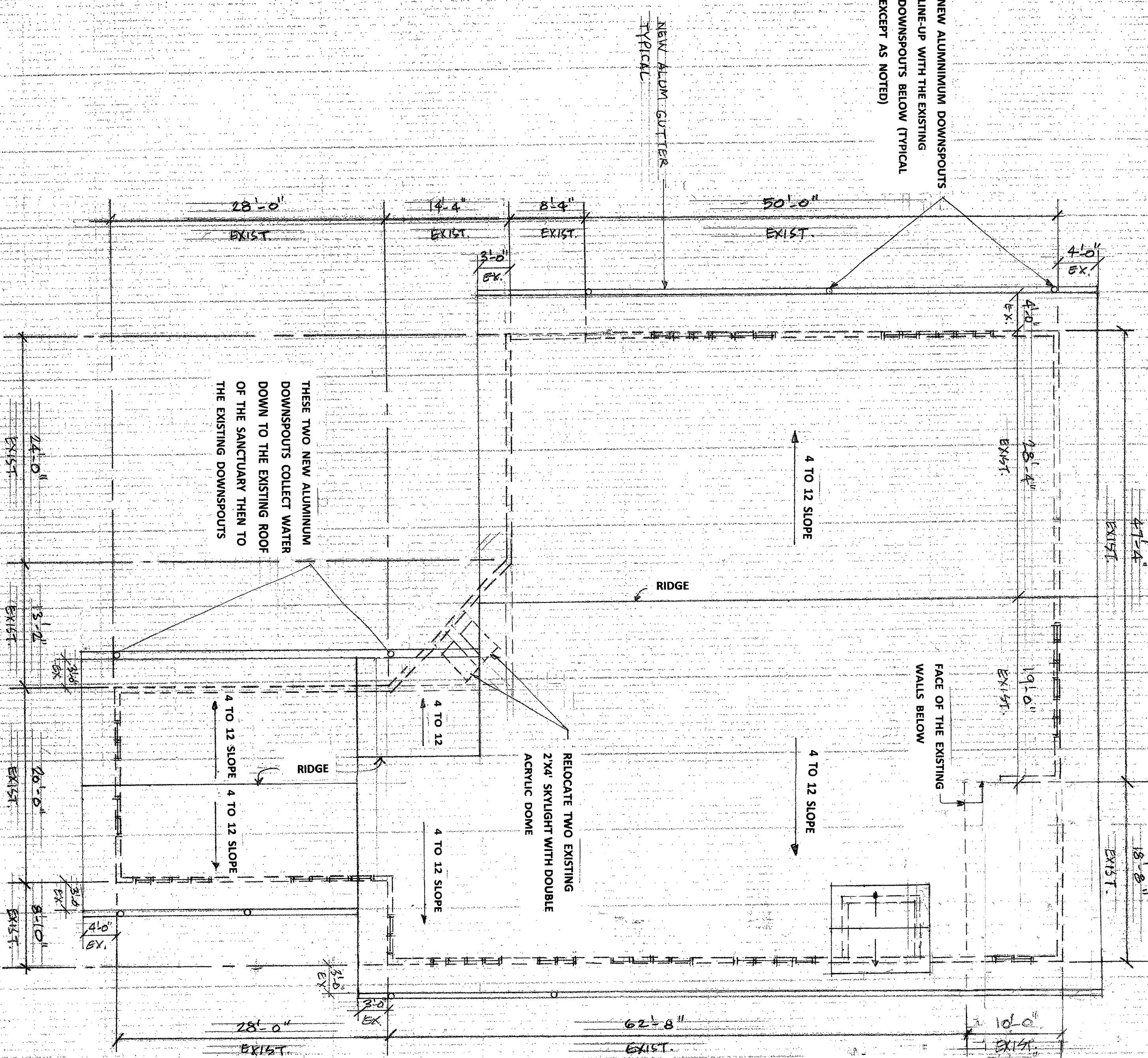
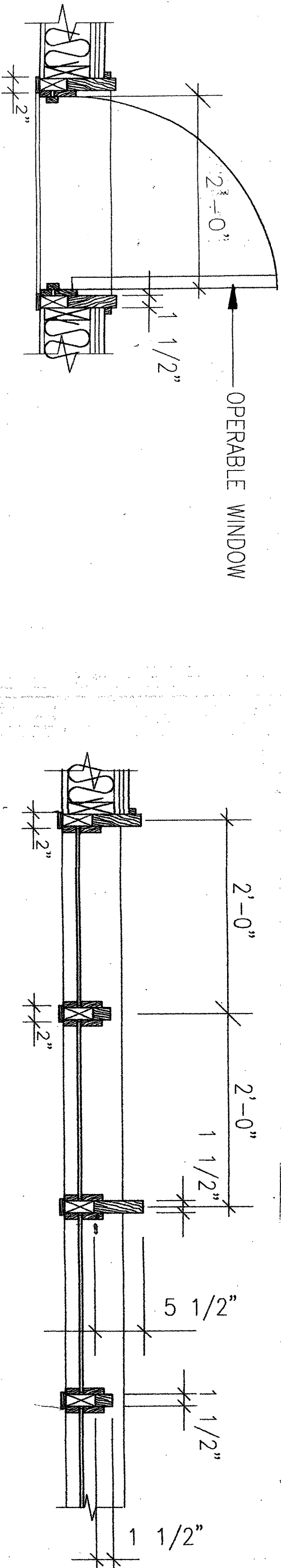
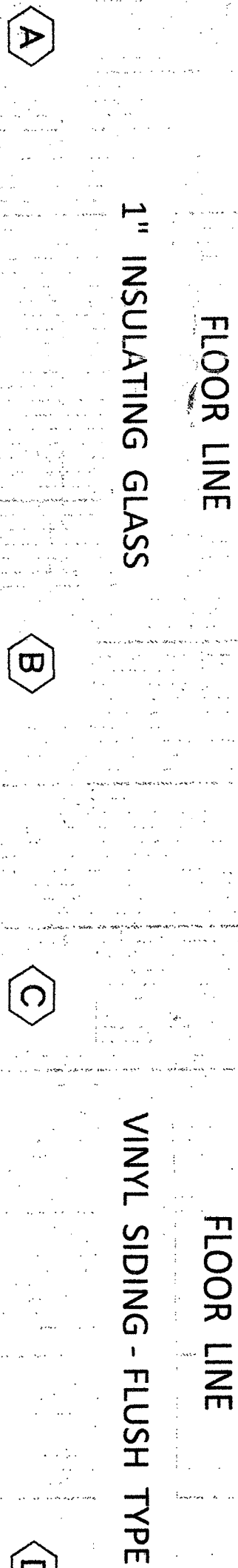
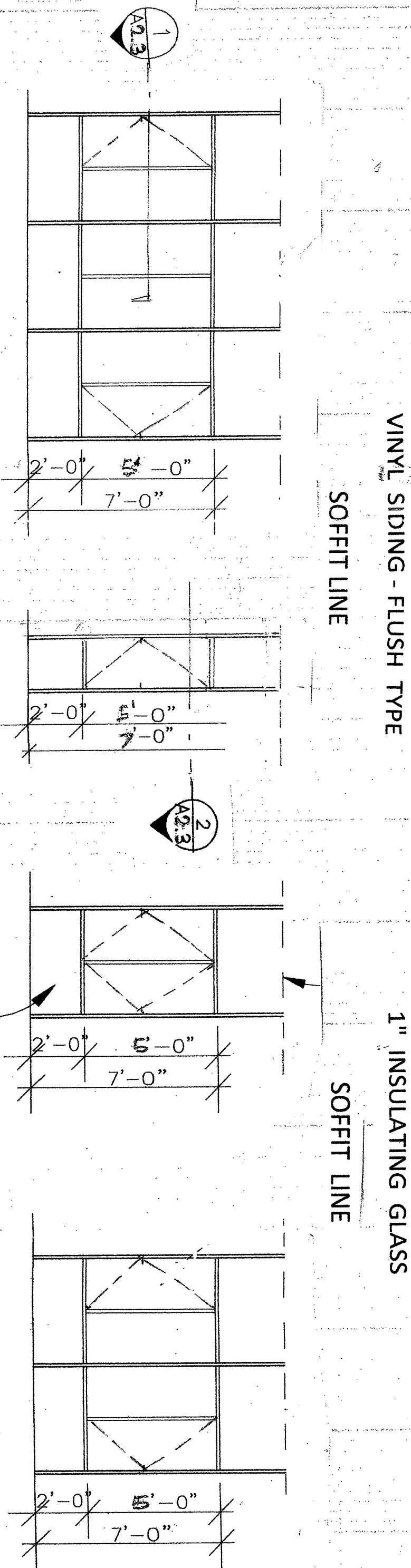
DATE	BY	SYM	REVISIONS

WINDOW SCHEDULE

NO.	WINDOW TYPES	SIZE	U-FACTOR	AMOUNT	REMARKS
1	A	2'-0" x 5'-0" EACH	0.4	4	DOUBLE NFRC CERTIFIED
6 WINDOWS	2 OPENS				
2	B	2'-0" x 5'-0"	0.4	1	DOUBLE NFRC CERTIFIED
1 WINDOW	OPEN				
3	C	2'-0" x 5'-0" EACH	0.4	4	DOUBLE NFRC CERTIFIED
2 WINDOWS	2 OPENS				
4	D	2'-0" x 5'-0" EACH	0.4	4	DOUBLE NFRC CERTIFIED
4 WINDOWS	2 OPENS				

WINDOW TYPES

1 / 4" = 1' - 0"



ROOF PLAN

SCALE 1/8" = 1' - 0"

CASEMENT WINDOW SECTION

1" = 1' - 0"

FIXED WINDOW SECTION

1" = 1' - 0"

ALL GLAZING TO BE DOUBLE - PANE HIGH - PERFORMANCE INSULATING GLASS, 1/2" AIR SPACE (MIN.)

EASTSIDE CHRISTIAN
COMMUNITY CHURCH - PH II
BELLEVUE, WASHINGTON
ROOF PLAN

DESIGNED	DATE	2009
DRAWN	DATE	2009
CHECKED	DATE	SPW 2015
BY		

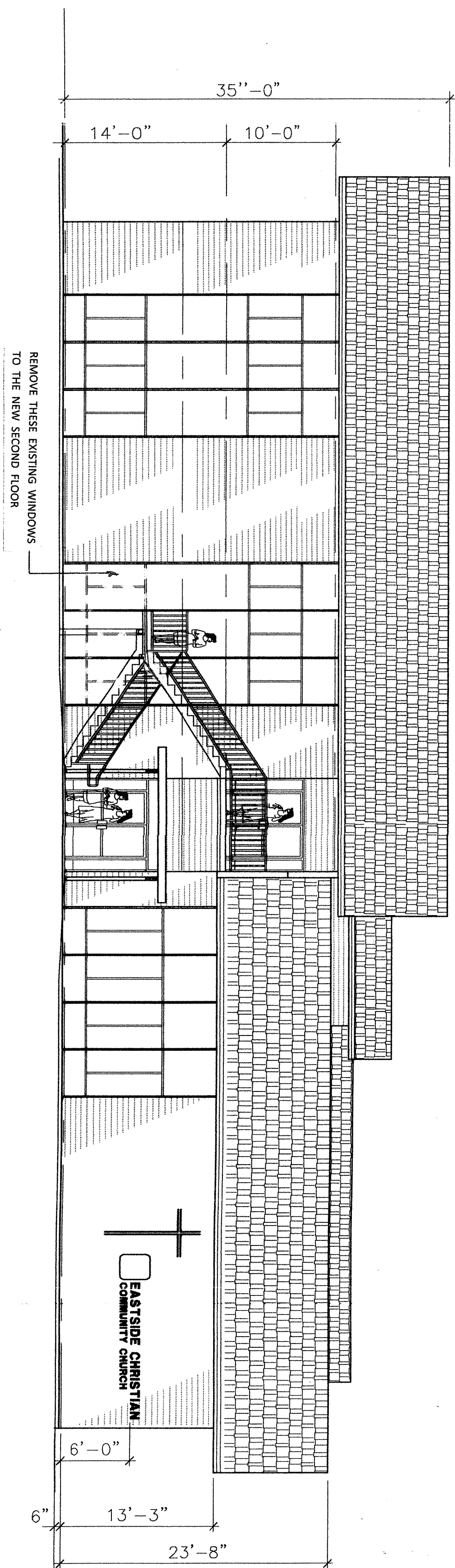
DATE	BY	SYM	REVISIONS

JOB NO. 15-01

SHEET A-2.3

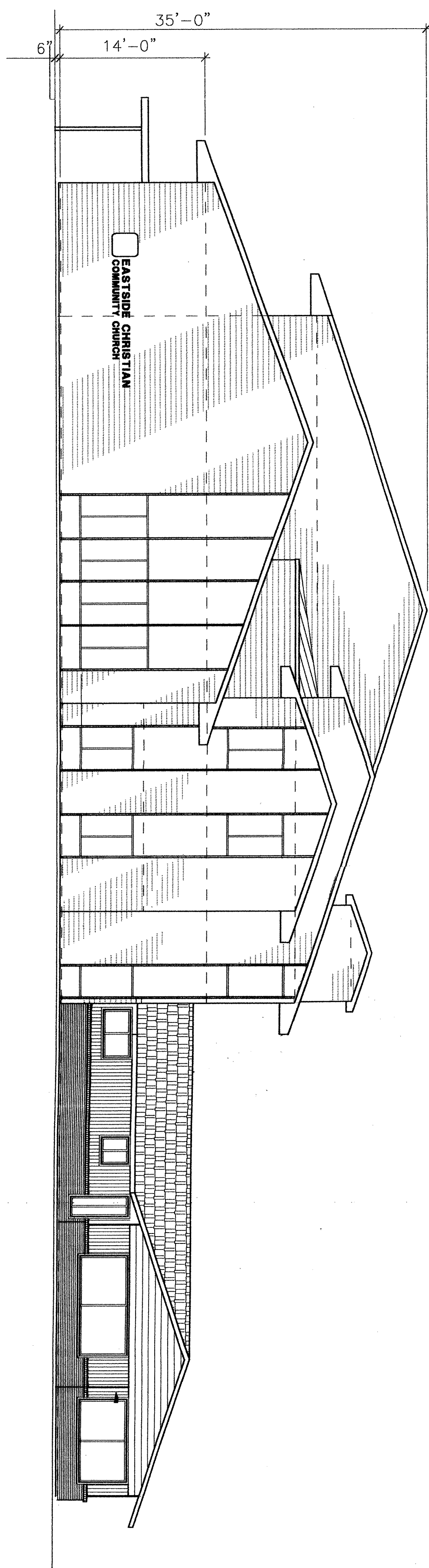
Revised

4 OF 6



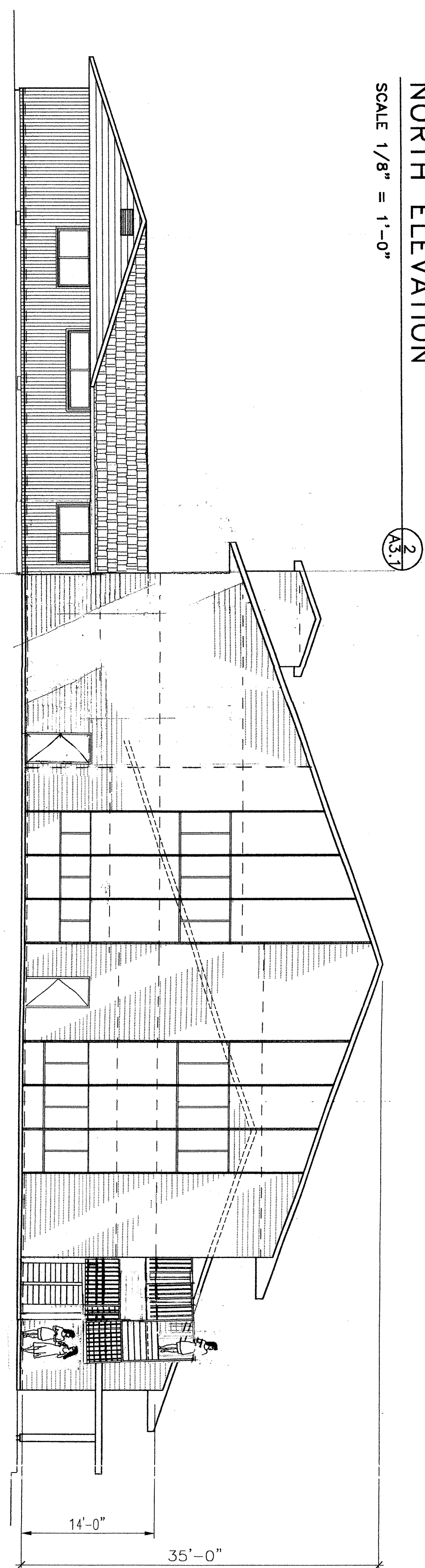
EAST ELEVATION

SCALE 1/8" = 1'-0"



NORTH ELEVATION

SCALE 1/8" = 1'-0"



SOUTH ELEVATION

SCALE 1/8" = 1'-0"

DESIGNED					
DATE	5/7/09				
DRAWN					
DATE	5/7/09				
CHECKED	SPW				
DATE	2015				
BY		DATE	BY	SYM	REVISIONS

DESIGNED	
DATE	5/7/09
DRAWN	
DATE	5/7/09
CHECKED	SPW
DATE	2015
	BY

DESIGNED	
DATE	5/7/09
DRAWN	
DATE	5/7/09
CHECKED	SPW
DATE	2015
	BY

DESIGNED	
DATE	5/7/09
DRAWN	
DATE	5/7/09
CHECKED	SPW
DATE	2015
	BY

[illegible]

**EASTSIDE CHRISTIAN
COMMUNITY CHURCH - PH II**

BELLEVUE, WASHINGTON

EXTERIOR ELEVATIONS

BELLEVUE, WASHINGTON

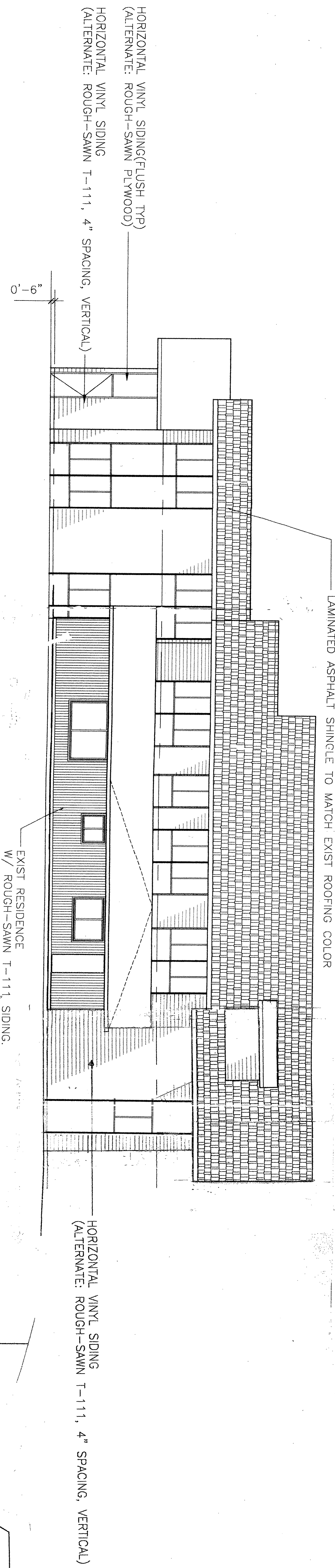
EXTERIOR ELEVATIONS

JOB NO. 15-01

SHEET
A-31

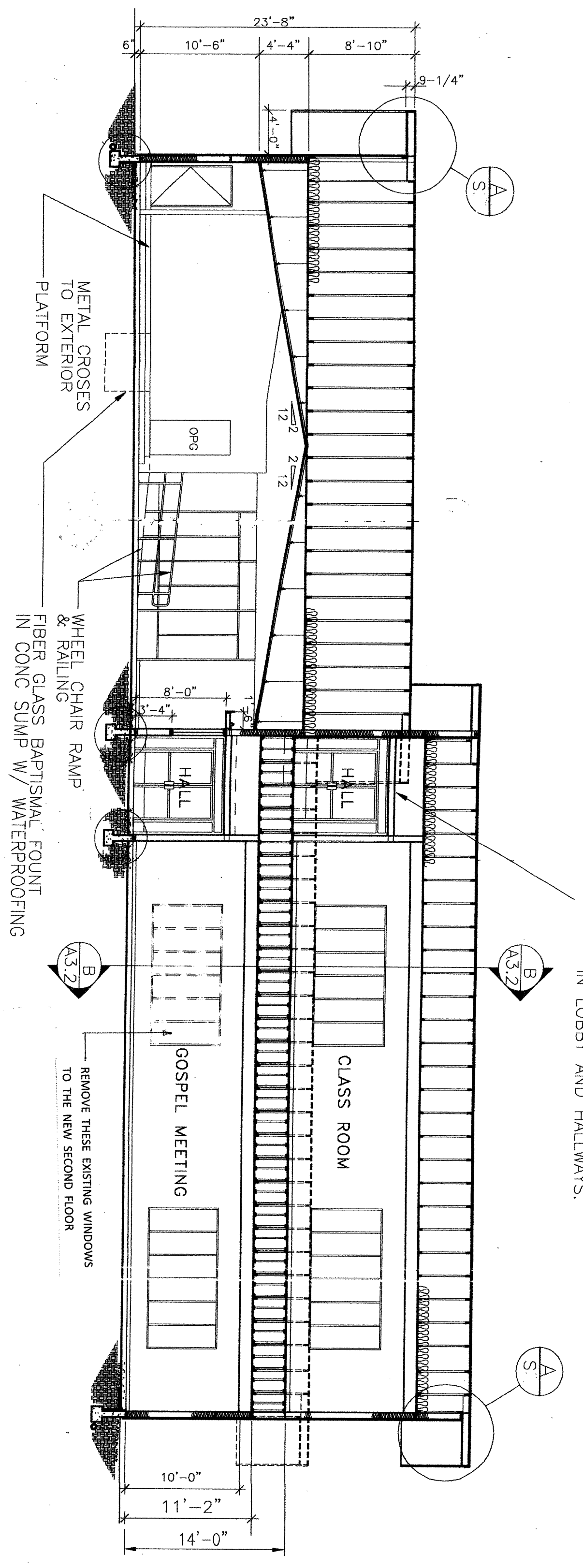
5 OF 6

Receive



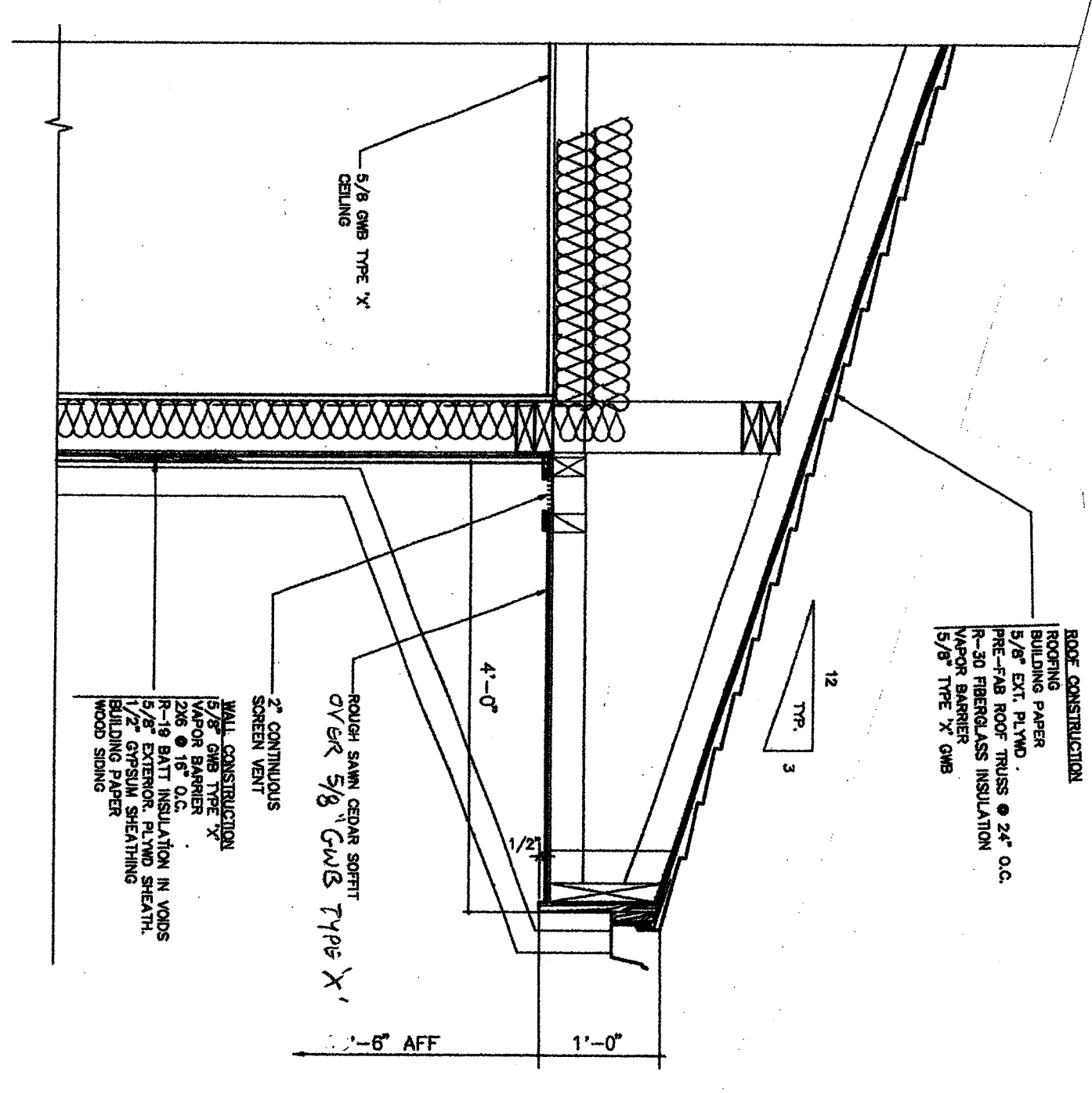
WEST ELEVATION

SECTION 1/8" = 1'-0"



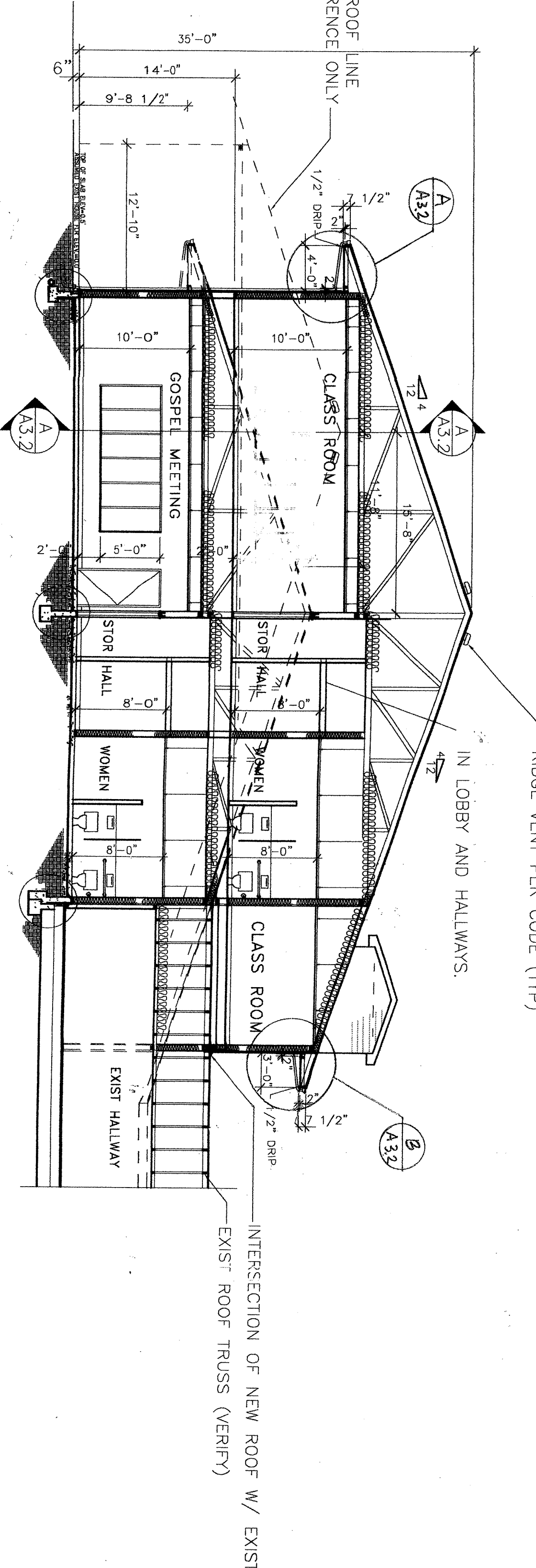
BUILDING SECTION

SECTION 1/8" = 1'-0"



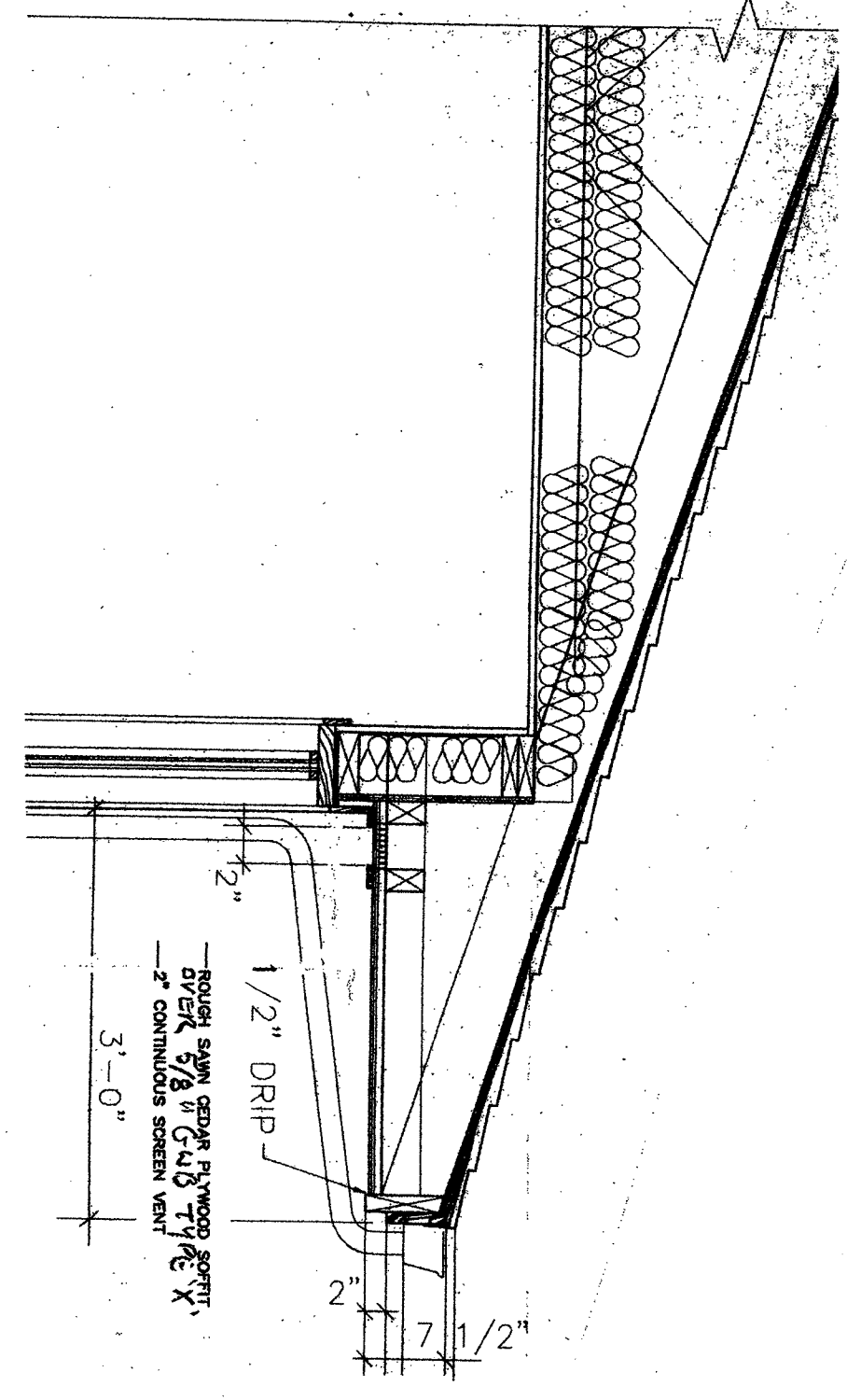
WALL SECTION

SCALE 3/4" = 1'-0"



BUILDING SECTION

SECTION 1/8" = 1'-0"



WALL SECTION

SCALE 3/4" = 1'-0"

DESIGNED					
DATE	2009				
DRAWN					
DATE	2009				
CHECKED					
DATE	SPW				
	2015				
	BY	DATE	BY	SYM	REVISIONS

EASTSIDE CHRISTIAN
COMMUNITY CHURCH - PH II
BELLEVUE, WASHINGTON
BUILDING SECTIONS

JOB NO. 15-01
SHEET A-3.2